

CRITERIUM[®] **SCHIMNOWSKI ENGINEERS**

CRITERIUM-SCHIMNOWSKI ENGINEERS
161 DUNBAR WAY
MAHTOMEDI, MN 55115
TEL 651 779-7700
FAX 651 779-7114
www.criterium-schimnowski.com

July 20, 2019

Michelle Waldroff
Sharper Management
1666 Coffman Street Condominium Association
Falcon Heights, MN 55108
Submitted by email: mwaldroff@sharpermanagement.com

Re: Limited Visual Structural Inspection
Project Location: 1666 Coffman Street, Falcon Heights, Minnesota
Criterium File No.: 19-3977

Dear Ms. Waldroff:

At your request, a limited visual structural inspection of the above property has been completed. The report that follows has been prepared based on that inspection. This inspection was performed by Steve Eberly, PE.

My work includes the following:

1. Visual observations during a physical walk-through on July 16, 2019.
2. Observe factors influencing the performance of the structure.
3. Provide a written report containing the following:
 - a. Scope of services.
 - b. Observations, site characteristics, and data deemed pertinent by me.
 - c. Discussion of major structural factors influencing the performance of this house.
 - d. Conclusions and any recommendations for further investigation and remedial or preventative measures.
 - e. This inspection is limited to a visual evaluation of the cantilevered steel balcony structures. Some non-intrusive moisture level and infrared testing were performed.
 - f. You asked me to pay special attention to indications of water intrusion and possible damage to exterior wall and floor framing.

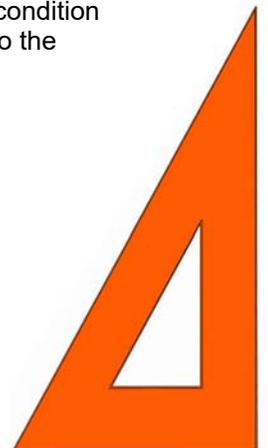
I have prepared the following summary of the condition of the observed structural systems of the building including specific items that have been noted as well as recommendations to address those items.

SUMMARY

In my professional opinion, I recommend that replacement of all cantilevered balconies be considered in the next one to two years. There are no significant indications of any balconies being in worse condition than any others. Therefore, there is no benefit in providing a priority list or a phased approach to the replacements and associated repair work.

**LICENSED
PROFESSIONAL
ENGINEERS**

HOME & BUILDING INSPECTIONS
STRUCTURAL EVALUATIONS
ASSOCIATION RESERVE/TRANSITION STUDIES
RESIDENTIAL/COMMERCIAL
RETAINING WALL DESIGN & EVALUATIONS



Observations of poor exterior waterproofing details were made. Existing flashing, especially below the doors, is deteriorated and not adequate to prevent water intrusion into the wall system. The overall structural condition of the framing around the cantilevered steel balcony structures is likely fair when compared to others of similar age and construction type. The 'fair' rating can only be confirmed with additional intrusive investigations, but I suspect that extensive structural repairs will be needed. You should expect similarly deteriorated conditions to Unit 108 which was previously repaired.

STRUCTURAL ISSUES:

In all cases the Wood Moisture Content (WMC) levels measured during the inspection were all above action levels. However, readings within the wall cavities were not possible without damaging the stucco siding. I recommend proceeding with repairs to restore the integrity of the structure to its original condition. If additional intrusive moisture tests are desired, that can be scheduled, or I can recommend another qualified moisture testing company.

DESCRIPTION OF TERMS

Terms used in this report to describe the condition of observable components and systems are listed and defined below. It should be noted that a term applied to an overall system does not preclude that a part or a section of the system or component may be in different condition:

- Excellent-** Component or system is in "as new" condition, requiring no rehabilitation, and should perform in full accordance with expected performance.
- Good-** Component or system is sound and performing its function. Although it may show signs of normal wear and tear, some minor rehabilitation work may be required.
- Fair-** Component or system falls into one or more of the following categories: a) Evidence of previous repairs not in compliance with commonly accepted standards, b) Workmanship not in compliance with commonly accepted standards, c) Component or system is obsolete, d) Component or system approaching end of expected performance. Repair or replacement is required to prevent further deterioration or to prolong expected life.
- Poor-** Component or system has either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its expected performance, excessive deferred maintenance, or state of disrepair. Present condition could contribute or cause the deterioration of other adjoining elements or systems. Repair or replacement is required.

SCOPE OF SERVICES and LIMITATIONS (See also, Terms and Conditions below)

The purpose of this inspection and report is to evaluate the current condition of the **structural system** of this building and to determine what, if any, significant maintenance, repairs, and/or replacement to this system might be expected within the next few years.

The report is not to be considered a guarantee of condition and no warranty is implied.

This scope of this inspection does not include a comprehensive evaluation for code compliance, governmental regulation compliance, fire safety, or hazardous materials in or around this building. It does not include an inspection of heating, cooling, plumbing and electrical systems or repair designs. Indoor air quality is a growing concern. Mold and mildew, fostered by moisture accumulation, can lead to respiratory discomfort and aggravate allergies and other respiratory conditions. Inspecting for mold is not included in the scope of a structural inspection. Evidence of any moisture-related problems in the home is not always visible. We cannot be responsible for any such conditions that might be discovered later. This report is not a termite inspection and no responsibility is assumed for any damage caused by wood-destroying



organisms. However, if damage is encountered as part of the inspection, however caused, it has been reported.

This report is based on an examination of the structural system and is an opinion about the condition of the structural system of the building. It is based on evidence available during a diligent inspection of all reasonably accessible areas. No surface materials were removed, no destructive testing undertaken, nor furnishings moved. This report is not an exhaustive technical evaluation. Examination of the exterior veneer, exterior siding, interior walls, trim, windows, doors or frames is completed only to see if any signs of differential movement are present and not to render an opinion of the condition of these items. Issues concerning the veneer, siding, trim, windows, doors or frames, or any associated rot, caulking, etc., are not included in the scope of a structural inspection and, if we address any of these items in our report, it is only as a courtesy and should not be considered an opinion of these items or an all-inclusive list of deficiencies.

As Professional Engineers, it is our responsibility to evaluate available evidence relevant to the purpose of this inspection. We are not, however, responsible for conditions that could not be seen or were not within the scope of our service at the time of the inspection.

No building is perfect. As you read this report, pay particular attention to our notes that often our observations and recommendations are typical of many structures we inspect.

INSTRUMENTATION

During this inspection a Protimeter BLD 5365 Surveymaster Dual Function Moisture Meter was used. Readings stated are %WMC (Wood Moisture Content).

This meter uses the following definitions:

Dry is defined as 7 to 16.9%

At risk is defined as 17.0 to 19.9%

Wet is defined as 20 to 99.9%

Also used was a FLIR E5 Model E63900. While this can be a useful instrument, its effectiveness is limited when used on possible water intrusion projects such as this with stucco siding.

DESCRIPTION OF STRUCTURE

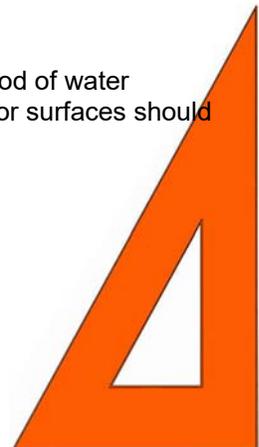
This building is a three-level condominium facility with a synthetic stucco-sided exterior. There is an asphalt/fiberglass shingle roofing surface. The building faces west.

DOCUMENT REVIEW

No documents were provided.

INTERIOR

No interior evaluations were requested as part of this report. However, with the likelihood of water intrusion into the wall cavities at the exterior balconies, intrusive investigations of interior surfaces should be considered.



ROT

It should not be assumed that no rot exists in inaccessible areas. Rot can result from moisture accumulating underneath the siding, behind trim, or within wall cavities should the normal drying process be restricted by insulation or other obstacles.

WOOD-DESTROYING INSECT ACTIVITY

Based on evidence available in accessible areas, there is no significant structural damage from wood-destroying organisms.

Although no evidence of wood destroying organism activity in action is reported, because of the insidious habits of these organisms, no responsibility is assumed for such conditions that may exist, or may be starting, and was not visible. Further, this report is not a warranty or guarantee that there are no wood-destroying organisms, but an inspection report.

CONCLUSION

In summary, I recommend that replacement of all cantilevered balconies be considered in the next one to two years. There are no significant indications of any balconies being in worse condition than others. Therefore, there is no benefit in providing a priority list or phased approach to the replacements.

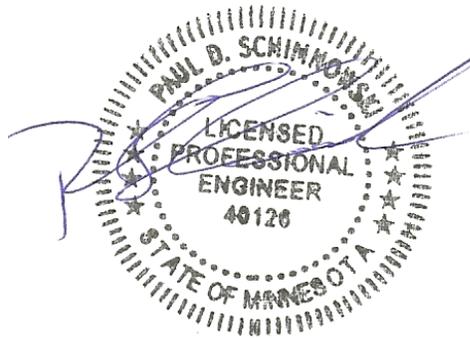
This report has been prepared in strict confidence with you as our client. No reproduction or re-use is permitted without express written consent. Further, we will not release this report to anyone without your permission.

Please call with any additional questions you may have. Thank you for the opportunity to be of assistance to you.

Sincerely,



Paul Schimnowski, P.E.
PE #40126 (Minnesota)



TERMS AND CONDITIONS

This report is expressly made subject to the following terms and conditions to which all persons that receive and rely thereon agree:

1. STANDARD OF SERVICE: Our inspection and report will be conducted consistent with that level of care and skill that is ordinarily exercised by members of the profession providing the same services under similar conditions at the time the services are performed.

- CLIENT recognizes that interpretations and recommendations of ENGINEER are based solely on the information available to the ENGINEER.
- ENGINEER will be responsible for those interpretations and recommendations, but shall not be responsible for the interpretation by others of the information developed.
- Services provided reflect the professional judgment of ENGINEER, to the best of ENGINEER's knowledge, information, and belief as of the date hereof.

2. SCOPE OF SERVICE: Services performed by ENGINEER are expressly limited by the scope of services ENGINEER has been employed by Client to perform.

- Our evaluation is non-destructive, non-invasive and limited to those portions of the property that could be visually examined without excavation, removing surface finishes, disassembling equipment, or moving furnishings and equipment.
- Our scope of services does not include an exhaustive technical investigation. No soils investigation, material sampling, or analytic tests, and except in the case of providing an engineered design, no precise measurements or engineering calculations are performed.
- We will not determine whether the property conforms to any building codes, or regulations, or restrictions that may be enforced within the jurisdiction.
- Probable cost estimates figures, if provided, are based on statistical construction records, past project experience, and judgment. The actual cost will vary based on economic and bidding conditions. We recommend that the actual costs be determined by obtaining competitive bids.
- In the event that CLIENT decides to engage the services of a Contractor to make repairs or modifications to your property, it is understood that the Contractor, not ENGINEER, is responsible for the construction of the project. The ENGINEER is not responsible for the acts or omissions of any contractor, subcontractor or material supplier; for safety precautions, programs or enforcement; or for construction means, methods, techniques, sequences and procedures employed by the Contractor.

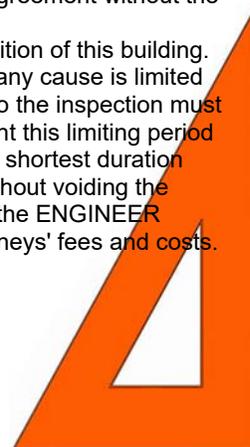
3. MOLD AND HAZARDOUS ENVIRONMENTAL CONDITION EXCLUSION: This inspection is not for the specific purpose of determining the presence of organic substances or hazardous environmental conditions (the presence of asbestos, PCBs, petroleum, hazardous substances or waste, or radioactive materials) in the building. If, however, during the inspection, we knowingly encounter such substances, we will notify you of the presence of these substances without accepting any liability whatsoever for any damage or harm caused by the substances. It is your responsibility to determine if further testing is required and to retain an independent, qualified professional to perform such tests.

4. OWNERSHIP OF DOCUMENTS: All reports, field data, field notes, calculations, estimates and other documents ('reports') prepared by Engineer, as instruments of service, shall remain the property of Engineer. Client agrees that all reports furnished to Client or his agents, which are not paid for, will be returned upon demand and will not be used by Client for any purpose whatever. ENGINEER will retain all pertinent records relating to the services performed for a period of five years following submission of the report, during which period the records will be made available to Client at all reasonable times.

5. TERMINATION: This agreement may be terminated by either party by written notice. In the event of termination, ENGINEER shall be paid for services performed and expenses incurred up to the termination notice date. Neither Client nor ENGINEER may delegate, assign, sublet or transfer his/her duties or interest in this Agreement without the written consent of the other party.

6. LIMITATION OF LIABILITY Our inspection is not a guarantee or warranty regarding the condition of this building. Except as otherwise noted herein, our maximum liability for loss suffered by the CLIENT due to any cause is limited to our inspection fee. To the fullest extent permitted by law, any action arising out of or related to the inspection must be brought to our attention no later than two (2) years after the date of the inspection. In the event this limiting period is not enforceable under the applicable jurisdiction, then the period shall be revised to reflect the shortest duration legally enforceable or, if no limiting period is enforceable, then this provision shall be stricken without voiding the remaining provisions of the Agreement. If CLIENT brings an action against the ENGINEER and the ENGINEER prevails, ENGINEER shall be entitled to recover costs and expenses, including reasonable attorneys' fees and costs.

Effective 6.19.18



Location
1666 Coffman Street,
Falcon Heights, MN

Photos Taken by:
Paul D Schimnowski, P.E.

Inspection Date:
July 16, 2019



1 Partial front/north side view of building.



2 Typical steel balcony section (previously removed).



3 Investigation of existing balcony structures.



4 View of second level balcony structure at building envelope.



5 View of flashing with failed sealant under doorway at balcony structure.



6 View of deteriorated flashing under doorway at balcony structure.

Location
1666 Coffman Street,
Falcon Heights, MN

Photos Taken by:
Paul D Schimnowski, P.E.

Inspection Date:
July 16, 2019



7 Investigation of existing balcony structures.



8 View of second level balcony structure at penetration through structure.



9 View of second level balcony structure at penetration through structure.



10 View of flashing under doorway at balcony structure.



11 Door framing previously modified. Possible source of water intrusion.



12 View of second level balcony structure at penetration through structure.

Location
1666 Coffman Street,
Falcon Heights, MN

Photos Taken by:
Paul D Schimnowski, P.E.

Inspection Date:
July 16, 2019



13 View of second level balcony structure at penetration through structure.



14 View of flashing with failed sealant under doorway at balcony structure.



15 View of second level balcony structure at penetration through structure.



16 Area of previous repairs.